

ITEM NO: 6Application No.
19/00332/FUL

Site Address:

Ward:
AscotDate Registered:
30 April 2019Target Decision Date:
25 June 2019**56 King Edwards Road Ascot Berkshire SL5 8NY**

Proposal:

Erection of a two storey front and side extension, first floor side extension and single storey side and rear extension following demolition of existing conservatory, creation of balcony, replacement roof including raising of ridge height, and replacement front porch. (Resubmission of 18/00761/FUL for alterations to fenestration and first floor extension)

Applicant:

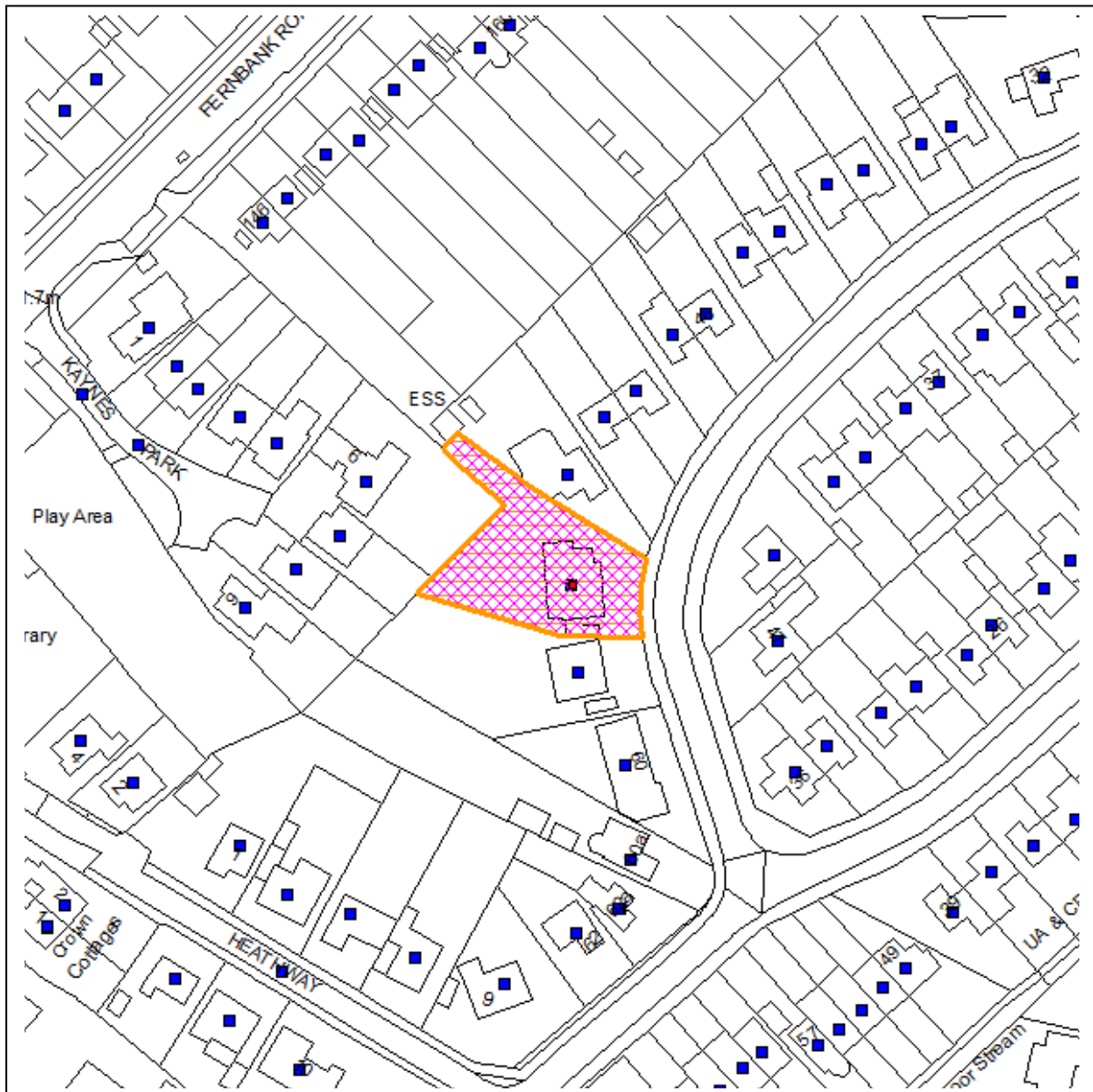
Mrs Sharon Day

Agent:

(There is no agent for this application)

Case Officer:

Antara Kumar, 01344 352000

development.control@bracknell-forest.gov.uk**Site Location Plan** (for identification purposes only, not to scale)

OFFICER REPORT

1. SUMMARY

1.1 The proposal is for the erection of a two storey front and side extension, first floor side extension and single storey side and rear extension following demolition of existing conservatory, creation of balcony, replacement roof including raising of ridge height, and replacement front porch. The application is a resubmission of 18/00761/FUL for alterations to fenestration and an additional first floor extension.

1.2 The dimensions (in metres) of the extension and proposed addition are as follows:

Extension / addition	Depth	Width	Height	Eaves Height
Ground floor front and rear (flat roof)	10.6	8	8.5	5.6
First floor front side and rear (part pitched roof with gable ends, part dual pitched)	8.4	8	8.3 (part) 6.8 (part)	5.3
Single storey rear and side	5.5	7.2	3.3	N/A
Front porch (dual pitched roof)	1.5	2.7	3.8	2.8
First Floor side extension (added with amendment 19/00332/FUL)	2.8	1.9	7	5.3

While all the proposed extensions have been applied for, the extant permission for application 18/00761/FUL is a material consideration and provides a fallback position for the applicant.

1.3 Recommendation

It is recommended that planning permission be granted subject to conditions in Section 11 of this report
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2. REASON FOR REPORTING APPLICATION TO COMMITTEE

2.1 Following the receipt of 6 objections, the application is to be considered by the Planning Committee

3. PLANNING STATUS AND SITE DESCRIPTION

PLANNING STATUS

Within settlement boundary

3.1 No. 56 King Edwards Road is an extended two storey, detached dwelling located on the north west side of King Edwards Road. The dwellinghouse is located within the defined settlement boundary.

4. RELEVANT SITE HISTORY

4.1 The relevant planning history for the site is as follows:

11503

Extension to provide new kitchen and external W.C. and other internal alterations
Approved 1966

600994

Two storey extension forming enlarged dining room and lounge and third bedroom with two bedrooms and bathroom over.

Approved 1975

601118

Single storey rear extension to lounge and third bedroom with balcony over, dormer extensions forming two bedrooms and bathroom in roof space.

Approved 1975

03/00615/FUL

Erection of single storey rear extension forming conservatory.

18/00761/FUL

Erection of a two-storey front and side extension, first floor side extension and single storey side and rear extension following demolition of existing conservatory, creation of balcony, replacement roof including raising of ridge height, and replacement front porch.

Approved 2018

19/00122/FUL

Section 73 application to vary conditions 02 (Approved Plans) and 03 (Materials) of planning permission 18/00761/FUL (Note for Clarification; this application is to render the ground floor walls, have first floor tile hanging, slate roof and grey windows).

Approved 2019

5. THE PROPOSAL

5.1 Planning permission has been granted under 18/00761/FUL for the erection of a two storey front and side extension, first floor side extension and single storey side and rear extension following demolition of existing conservatory, creation of balcony, replacement roof including raising of ridge height, and replacement front porch. The current application is for the following additional amendments:

- i) side extension at first floor level creating an 18/00761/FUL additional floor space of 5.32 square metres
- ii) moving the second storey window on the Northeast elevation towards the front of the house.
- iii) The addition of 2 small windows on the Southeast elevation second storey

It is to be noted while all the proposed extensions have been applied for under 19/00332/FUL, the decision for application 18/00761/FUL is a material consideration and would be a fallback position for the applicant.

6. REPRESENTATIONS RECEIVED

Winkfield Parish Council:

6.1 Winkfield Parish Council raised no objections to this application.

Other Representations:

6.2 Six objections received from the neighbouring properties of 54 King Edwards Road, 45 King Edwards Road, 50 King Edwards Road, 58 King Edwards Road, 6 Beechwood Close, 119 Fernbank Road. The following points were raised:

- 1) Side elevation is overbearing causes overshadowing and reduces the perceivable gap between 54 and 56 King Edwards Road
- 2) Void space created
- 3) Balcony will cause overlooking for rear garden of 58 King Edwards Road
- 4) Proposed side windows should have obscure/ opaque glass
- 5) Submitted plans are hand-drawn and not legible.

- 6) Fails to meet criteria set out in The Design SPD (2017) as it is not set away from the property boundary, no perceivable gap between buildings.
- 7) This will cause loss of daylight and overshadowing for the forecourt of 54 King Edwards Road.
- 8) Works on developing alterations contained within the application has commenced, prior to granting of planning permission.
- 9) Proposed development is overbearing and overdevelopment.

[Officer Note: Point 4) this has been noted and will be conditioned. Point 1, 3, 7 is assessed in Section 9.iii and 6 is assessed under Section 9.ii. The applicant has submitted revised scaled drawings in response to Point 5].

6.3 In response to the remaining points:

- 2) Planning is not concerned with the internal usage of rooms
- 3) Balcony has already been granted planning permission under 18/00761/FUL and previous planning permission XXX which has been partly implemented.
- 8) There is an existing planning permission 18/00761/FUL granted in 2018. However, planning permission can also be granted retrospectively

7. SUMMARY OF CONSULTATION RESPONSES

7.1 No other statutory or non-statutory consultations have been required.

8. MAIN POLICIES AND OTHER DOCUMENTS RELEVANT TO THE DECISION

8.1 The primary strategic planning considerations applying to the site and associated policies are:

	Development Plan	NPPF
General policies	CS1 and CS2 of the CSDPD	Consistent
Design	CS7 of the CSDPD,	Consistent
Amenity	'Saved' policy EN20 of the BFBLP	Consistent
Highways	'Saved' policy M9 of the BFBLP CS23 of the CSDPD	Consistent - Para. 39 refers to LPAs setting their own parking standards for residential development
Supplementary Planning Documents (SPD)		
Bracknell Forest Borough Parking Standards, Supplementary Planning Document 2016 Design SPD 2017		
Other publications		
National Planning Policy Framework (NPPF) Bracknell Forest Borough Council 'Extending your home: A Householder's Guide' (2003) Building Research Establishment (BRE) Site Layout Planning for Daylight and Sunlight: a Guide to Good Practice 2011 (SLPDS)		

9. PLANNING CONSIDERATIONS

9.1 The key issues for consideration are:

- i. Principle of Development
- ii. Impact on Character and Appearance of Surrounding Area
- iii. Impact on Residential Amenity
- iv. Transport and Highways Considerations
- v. Community Infrastructure Levy

i. Principle of Development

9.2 56 King Edwards Road is located within a defined settlement as designated by the Bracknell Forest Borough Policies Map. Due to its location and nature, the proposal is considered to be acceptable in principle and in accordance with CSDPD CS1 (Sustainable Development), CS2 (Locational Principles) and the NPPF subject to no adverse impacts upon character and appearance of surrounding area, residential amenities of neighbouring properties, highway safety, etc. These matters are assessed below.

ii. Impact on Character and Appearance of Surrounding Area

9.3 The application site follows the same building lines as the dwelling to the south, 58 King Edwards Road. 56 King Edwards is located on the outside curve of a bend in the road, hence it is visible from a long way further up King Edwards Road.

9.4 56 King Edwards Road was previously a chalet style dwellinghouse with dormers at first floor level. The previous planning application 18/00761/FUL approved in 2018, proposed converting this into a two-storey dwelling house. It is noted some of the neighbouring properties (54 King Edwards Road and opposite property of 52 King Edwards) are two storeyed and have had front extensions.

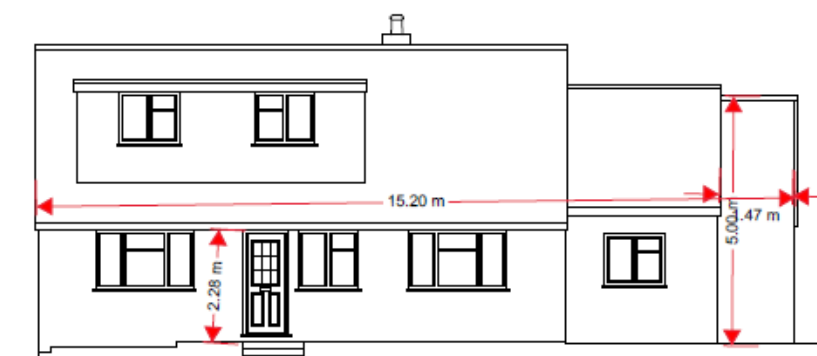
9.5 The proposed roof design of the dwellinghouse reflects the design of the neighbouring properties of Nos. 54 and 52, King Edwards Road and hence this would be in keeping with the character of the area. It is to be noted that the majority of the proposed development has already received planning permission under 18/00761/FUL.

9.6 The previous (existing) dwellinghouse had a variable roof ridge line, the approved design is an improvement over the existing design of the dwellinghouse. The proposed side extension at first floor level would reflect the roof ridge of the previous dwellinghouse and would not be significantly out of character.

9.7 The proposed materials are hanging tiles for the first floor front extension and render for the rest of the dwellinghouse. There has been a previous Section 73 application 19/00122/FUL for a change of materials which has been approved as this was in keeping with the character of the area and the streetscene.

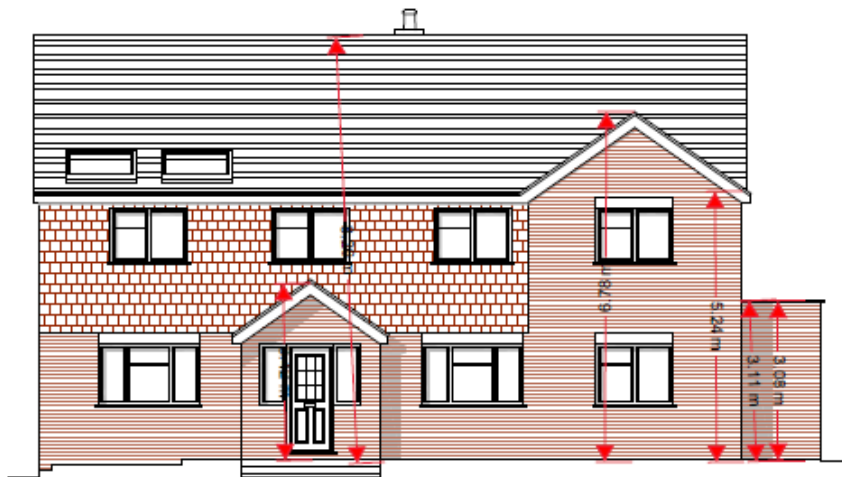
9.8 The proposal would therefore be in line with CSDPD Policy CS7, 'Saved' BFBLP Policy EN20 and the NPPF.

Front elevation of the original dwelling as existing



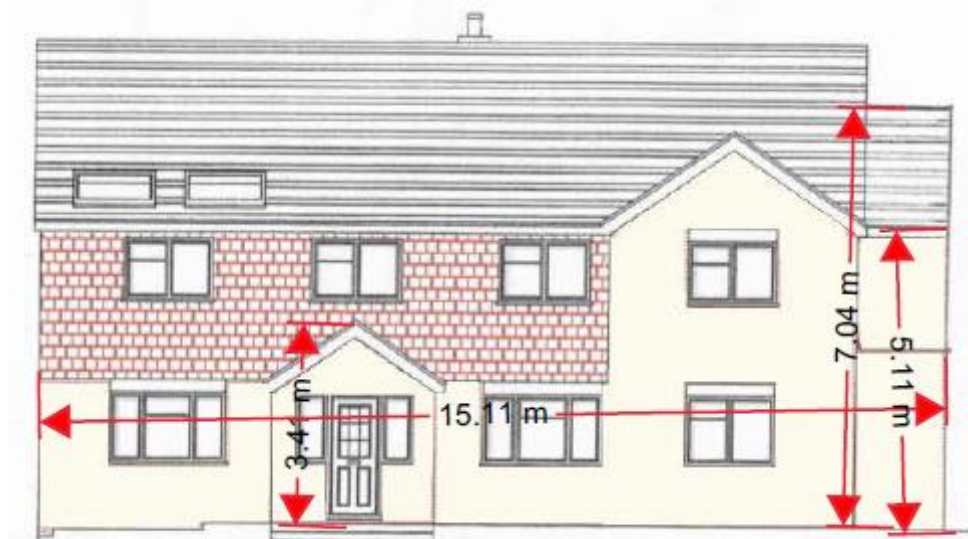
Front Elevation

Front elevation of dwelling as approved under application 18/00761/FUL



Front Elevation

Dwelling as proposed under the current application



Front Elevation

iii. Impact on Residential Amenity

9.9 56 King Edwards Road is a detached dwelling, the land rises steeply by XXm to the north west and therefore the proposed development would not be considered to have a significant impact on the amenities of the occupiers of the dwellings to the rear of the application site.

9.10 There is an existing shed and garage to the south of the application site, adjacent to the boundary with no. 58 and a separation distance of about 5 metres from the dwellinghouse at no. 58 King Edwards Road. As such the proposed development would not be considered to have a significant impact on the amenities of the occupiers of this neighbouring dwelling in terms of overbearing and overshadowing

- 9.11 The proposed development at ground floor level would be sited 7 metres from High Views, no. 54 King Edwards Road and there would be a separation distance of 7 metres at first floor level. There is a proposed side facing window at first floor level. This would serve a bathroom/ storage space, as such it is considered acceptable to restrict the glazing and opening by condition.
- 9.12 The current amended application (19/00332/FUL) proposes three windows at first floor level on the southern side elevation. It is recommended these be obscure glazed and have limited opening to mitigate overlooking impacts. It is to be noted that side facing windows could be built under permitted development if they are obscure-glazed and any openable part being more than 1.7 metres above the floor level of the room they are located in.
- 9.13 There is a distance of about 11.5 metres from the proposed first floor extension and the nearest point of the rear boundary adjacent to no. 6, Kaynes Park. Due to the separation distances, it is not considered that the proposed development would be overbearing for the neighbouring residents.
- 9.14 A section of the flat roof over the single storey rear projection is proposed to be used as a balcony. There is a part-implemented planning permission (601118), approved in 1975 permitted the use of this roof as a balcony, as such it would be unreasonable to refuse this element of the proposal. In any event, there is dense vegetation on the boundary between the application site and no. 58, King Edwards Road.
- 9.15 Due to the location of the application site on the outside curve of a bend in the road, the front elevation of the neighbouring property to the north of the application site (High Views no. 54 King Edwards Road) is set further back from the highway than the application dwelling. The proposed extensions and alteration would be to the front or side of this neighbouring dwelling, therefore they would not have a detrimental impact on the private amenity area of High Views, as this would be screened. A loss of light assessment has been conducted and concluded that there would be no unacceptable loss of light.
- 9.16 It is to be noted that majority of the proposed development has been approved under planning permission 18/00761/FUL and raising any current concerns about any previously approved extension would be unreasonable.

Rear elevation of original dwelling



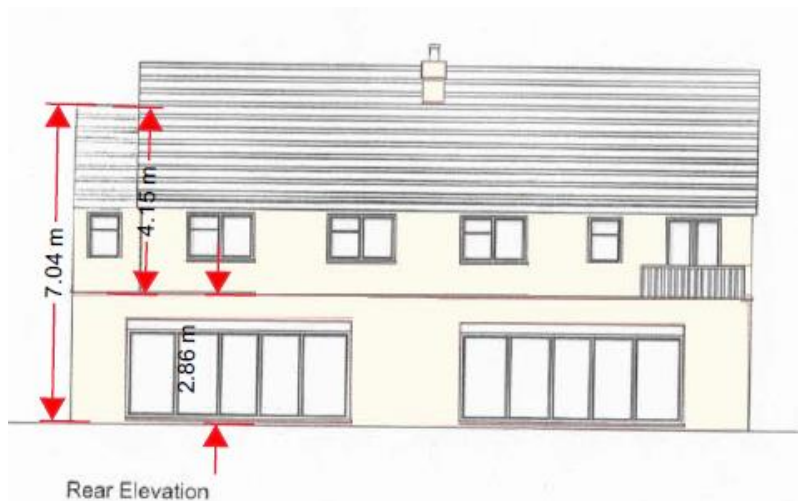
Rear Elevation

Rear elevation of the dwelling as approved under 18/00761/FUL



Rear Elevation

Rear elevation of the dwelling as proposed under 19/00332/FUL



Rear Elevation

9.17 It is therefore considered that the development would not result in any significant adverse impact on the amenity of neighbouring properties, in accordance with BFBLP 'Saved' Policies EN20 and EN25, and the NPPF.

iv Transport and Highways Considerations

9.18 There is no proposed increase in the number of bedrooms at the application site. The residential standards in the SPD state that a dwelling with four or more bedrooms require 3 parking spaces. The proposed additional increase in floorspace at first floor level would not increase the number of bedrooms, hence no additional parking spaces are required.

9.19 The proposal would therefore be in line with CSDPD Policy CS23 and 'Saved' BFBLP Policy M9 and the NPPF.

v Community Infrastructure Levy (CIL)

9.20 Following the introduction on the 6th April 2015 of the Community Infrastructure Levy (CIL), all applications for planning permission will be assessed as to whether they are liable. As this development is a householder application, it will not be liable for a charge.

10. CONCLUSIONS

10.1 It is considered that the development is acceptable in principle and would not result in an adverse impact on the character and appearance of the host dwelling or surrounding area. The development would not result in a detrimental impact on the residential amenity of the neighbouring properties, or on highway safety. It is therefore considered that the proposed development complies with 'Saved' policies M9 and EN20 of the BFBLP, Policies CS2, CS7 and CS23 of the CSDPD and the NPPF.

11. RECOMMENDATION

11.1 The application is recommended to be **APPROVED** subject to the following conditions:-

1. The development hereby permitted shall be carried out only in accordance with the following approved plans and other submitted details:
Site Location Plan and Block Plan with Parking Layout, Drawing reference: 18.56KER.P.SITE.P.01, Received 06.02.2019
Proposed Elevations, Drawing reference: 18.56KER.P05, Received 29.05.2019
Proposed Floor Plans, Received 17.05.2019
REASON: To ensure that the development is carried out only as approved by the Local Planning Authority.
2. The existing hardstanding to the front of the application site, known as no. 56 King Edwards Road, Ascot, SL5 8NY, as shown in the approved drawings, shall thereafter be kept available for parking at all times.
REASON: To ensure that the development is provided with adequate car parking to prevent the likelihood of on-street car parking which would be a danger to other road users.
[Relevant Policies: BFBLP M9, Core Strategy DPD CS23]
3. The first floor side facing windows in the northern and southern side elevations of the development hereby permitted shall not be glazed at any time other than with a minimum of Pilkington Level 3 obscure glass (or equivalent). They shall at all times be non-opening below 1.7 metres above in the internal floor level of the room it serves.
REASON: To prevent the overlooking of neighbouring properties.
[Relevant Policies: BFBLP EN20]
4. The flat roof area of the single storey rear and side extension hereby permitted shall not be used as a balcony, roof garden or similar amenity area.
REASON: In the interests of the privacy of nearby dwellings.
[Relevant Policies: BFBLP EN20, CSCS7]
5. Tree Protection measures shall be carried out in accordance with the Tree Protection Plan (ref ARBTECH TPP 01) Arbtech Arboricultural Method Statement dated 19 November 2018 so that tree protection is provided from the commencement of demolition or site clearance works (whichever is the sooner), through to the construction works and the completion of hard landscaping works
REASON: - In order to safeguard trees and other vegetation considered to be worthy of retention in the interests of the visual amenity of the area.
[Relevant Policies: BFBLP EN1 and EN20, CSDPD CS7]

11.2 Informative(s):

1. The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and

subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework.

2. No details are required to be submitted in relation to the following conditions; however they are required to be complied with:
 1. Approved plans
 2. Parking layout to be retained
 3. Windows to be obscure glazed and non-opening
 4. New flat roof not to be used as a balcony
 5. Tree Protection Measures
3. The applicant should note that this permission does not convey any authorisation to enter onto land or to carry out works on land not within the applicant's ownership.
4. This is a planning permission. Before beginning any development you may also need separate permission(s) under Building Regulations or other legislation. It is your responsibility to check that there are no covenants or other restrictions that apply to your property.

Doc. Ref:

The application file to which this report relates can be viewed at the Council's Time Square office during office hours or online at www.bracknell-forest.gov.uk